

MERCER ISLAND
LOT LINE REVISION NO. SUB20-003

SURVEY CONTROL

BASIS OF BEARINGS

HELD BEARING OF N 22°46'13" E ALONG CENTERLINE OF MERCER TERRACE DRIVE BETWEEN FOUND MONUMENTS PER (R1)

REFERENCES

- R1. PLAT OF MERCER TERRACE, VOL. 72, PG. 86, RECORDS OF KING COUNTY, WASHINGTON.
- R2. CITY OF MERCER ISLAND LOT LINE ADJUSTMENT NO. M195-0555, RECORDED UNDER RECORDING NO. 9507259002, RECORDS OF KING COUNTY, WASHINGTON.

SURVEYOR'S NOTES

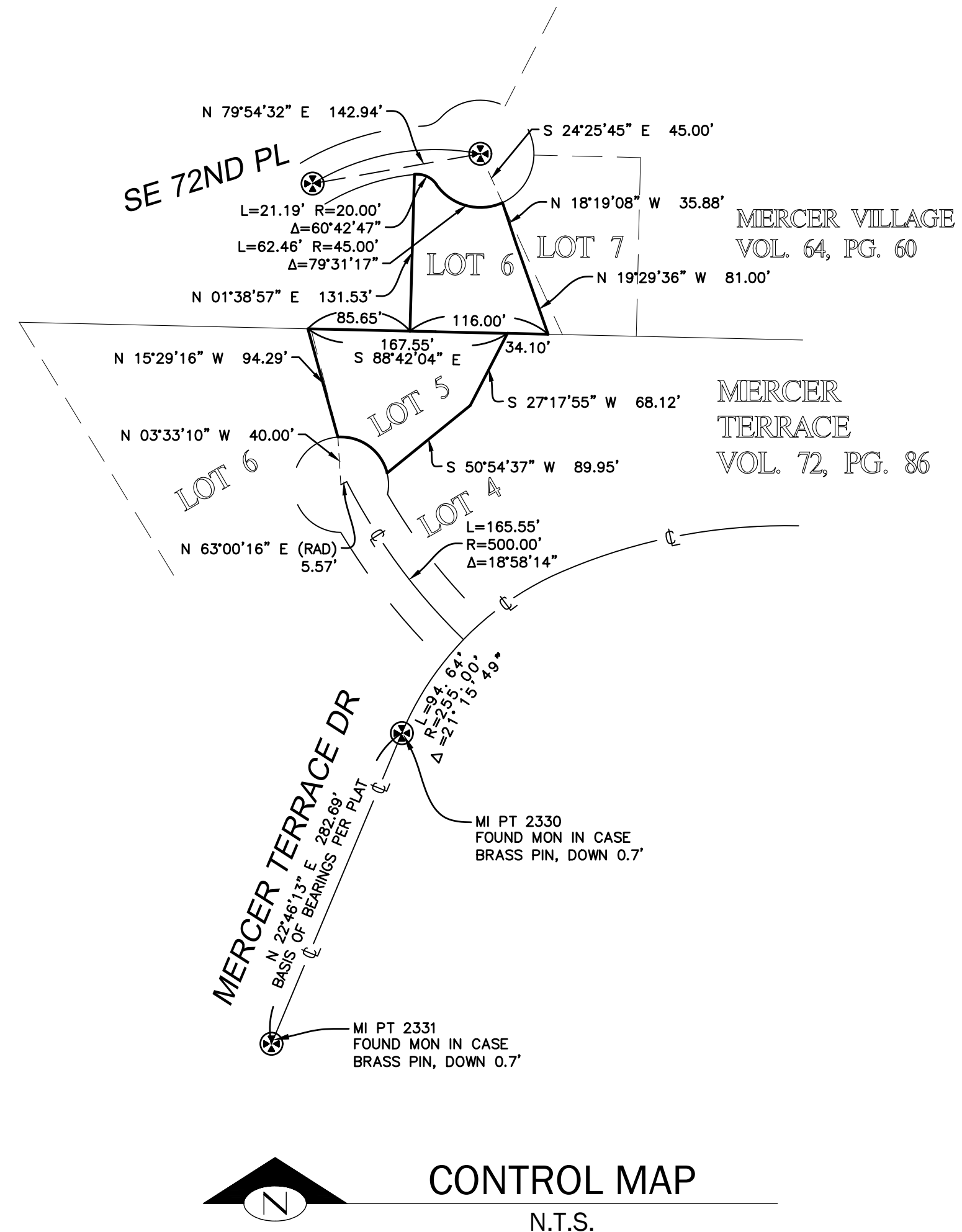
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN DECEMBER OF 2019. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. TERRANE ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.
4. SUBJECT PROPERTY TAX PARCEL NO. 5454000060 & 5453600240
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS
PARCEL #5454000060 = 10,756 S.F. (0.25 ACRES)
PARCEL #5453600240 = 12,412 S.F. (0.28 ACRES)
6. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE INSURANCE COMPANY'S "SUBDIVISION GUARANTEE", ORDER NO. 0187197-ETU, DATED AUGUST 14, 2020. IN PREPARING THIS MAP, TERRANE, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS TERRANE, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED "SUBDIVISION GUARANTEE." TERRANE, INC. HAS RELIED WHOLLY ON CHICAGO TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND TERRANE, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGAL DESCRIPTION

TAX PARCEL NO. 545400-0060
LOT 6 OF MERCER VILLAGE, AS PER PLAT RECORDED IN VOLUME 64 OF PLATS, ON PAGE 60, RECORDS OF KING COUNTY; EXCEPT THAT PORTION THEREOF DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST WESTERLY CORNER OF LOT 7 IN SAID PLAT; THENCE SOUTH 18°19'08" EAST 35.88 FEET; THENCE SOUTH 19°29'36" EAST 81.07 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 6; THENCE SOUTH 88°42'04" EAST 11.98 FEET TO THE SOUTHWEST CORNER OF SAID LOT 7; THENCE NORTH 24°25'45" WEST 121.64 FEET TO THE POINT OF BEGINNING OF THIS EXCEPTION;

(ALSO BEING KNOWN AS PARCEL A OF CITY OF MERCER ISLAND LOT LINE ADJUSTMENT NO. M195-0555, ACCORDING TO THE SURVEY RECORDED UNDER RECORDING NO. 9507259002, RECORDS OF KING COUNTY).

TAX PARCEL NO. 545360-0240
LOT 5, MERCER TERRACE, AS PER PLAT RECORDED IN VOLUME 72 OF PLATS, PAGE 86, RECORDS OF KING COUNTY, WASHINGTON; TOGETHER WITH THAT PORTION OF LOT 6 IN SAID PLAT LYING EASTERLY OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 6; THENCE NORTH 88°42'04" WEST 2.55 FEET; THENCE SOUTH 15°29'16" EAST 94.30 FEET TO A POINT 0.48 FEET WESTERLY OF MOST EASTERLY CORNER OF LOT 6.



LEGEND

- BUILDING
- CENTERLINE ROW
- FENCE LINE (CHAIN LINK)
- FENCE LINE (WOOD)
- MONUMENT IN CASE (FOUND)
- NAIL AS NOTED
- REBAR AS NOTED (FOUND)
- REBAR & CAP (SET)
- CORNER
- IP IRON PIPE
- LS# LAND SURVEYOR NUMBER
- MI MERCER ISLAND
- MON MONUMENT
- PROP PROPERTY
- (R) RECORD DATA
- SF SQUARE FEET
- WATERCOURSE BUFFER
- WATERCOURSE

INDEXING INFORMATION	
	NW 1/4 SE 1/4
	SECTION: 25
	TOWNSHIP: 24N
	RANGE: 04E
	COUNTY: KING

Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

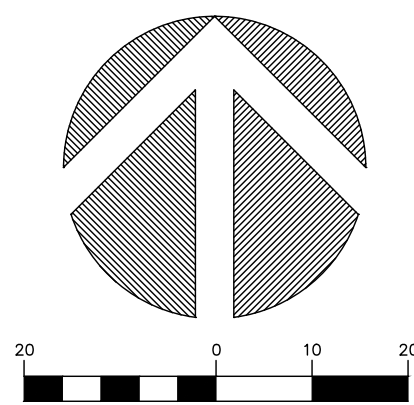


CITY OF MERCER ISLAND SUB20-003
NW 1/4 OF SE 1/4, SEC. 25, T. 24 N., R. 04 E., W.M.
MAGUIRE LLR
PARCEL NO. 5454000060 & 5453600240
7643 SE 72nd Pl & 7333 Mercer Terrace Dr

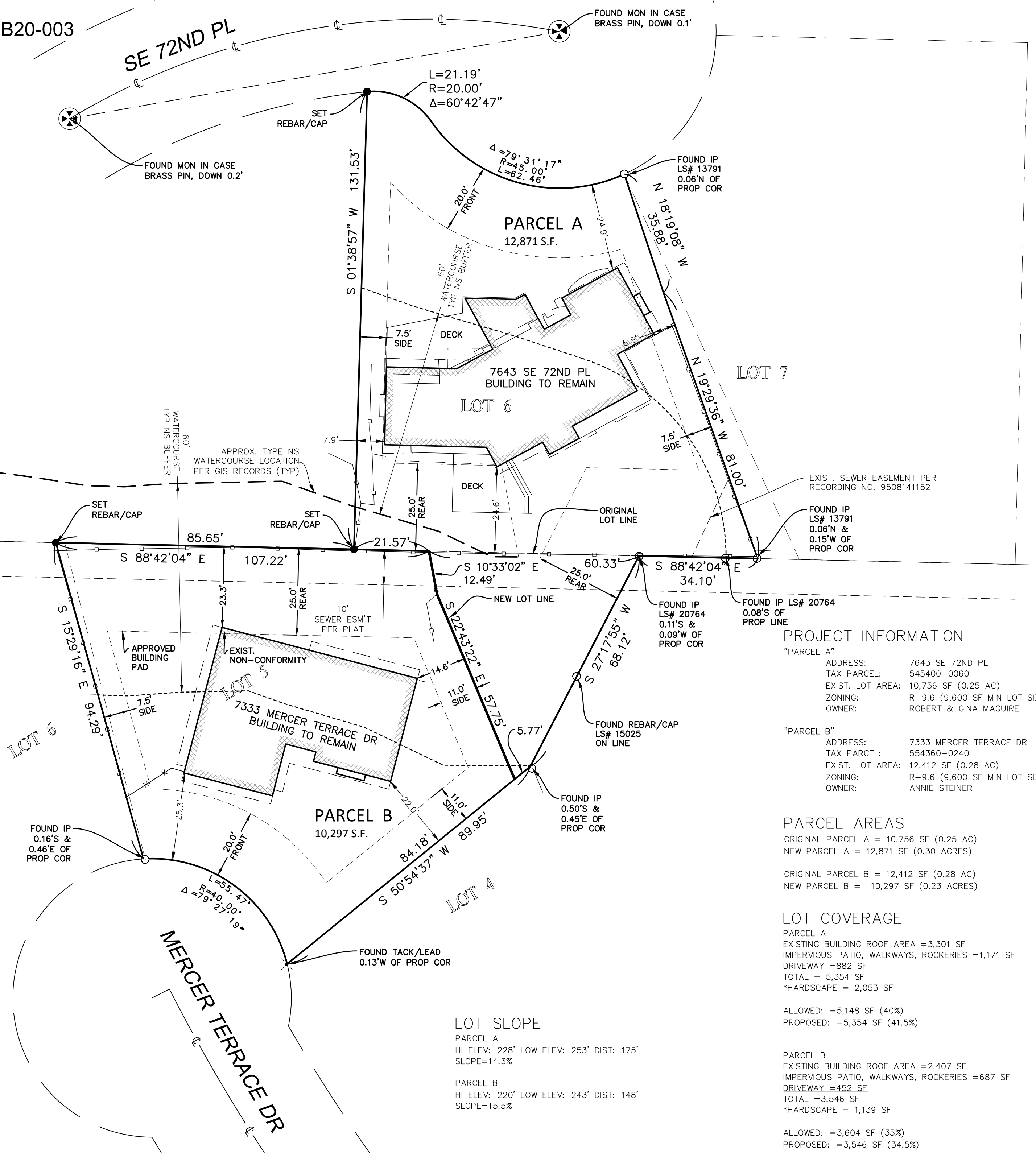
JOB NO.: 192129
DATE: 1/5/21
DRAFTED BY: TLR
CHECKED BY: SRM
SCALE: 1" = N.T.S.

MERCER ISLAND
LOT LINE REVISION NO. SUB20-003

SITE PLAN



(IN FEET)
1 INCH = 20 FT.



PROJECT INFORMATION

"PARCEL A"	
ADDRESS:	7643 SE 72ND PL
TAX PARCEL:	545400-0060
EXIST. LOT AREA:	10,756 SF (0.25 AC)
ZONING:	R-9.6 (9,600 SF MIN LOT SIZE)
OWNER:	ROBERT & GINA MAGUIRE
"PARCEL B"	
ADDRESS:	7333 MERCER TERRACE DR
TAX PARCEL:	554360-0240
EXIST. LOT AREA:	12,412 SF (0.28 AC)
ZONING:	R-9.6 (9,600 SF MIN LOT SIZE)
OWNER:	ANNIE STEINER

PARCEL AREAS

ORIGINAL PARCEL A =	10,756 SF (0.25 AC)
NEW PARCEL A =	12,871 SF (0.30 ACRES)
ORIGINAL PARCEL B =	12,412 SF (0.28 AC)
NEW PARCEL B =	10,297 SF (0.23 ACRES)

LOT COVERAGE

PARCEL A	
EXISTING BUILDING ROOF AREA =	3,301 SF
IMPERVIOUS PATIO, WALKWAYS, ROCKERIES =	1,171 SF
DRIVEWAY =	882 SF
TOTAL =	5,354 SF
*HARDSCAPE =	2,053 SF
ALLOWED: =	5,148 SF (40%)
PROPOSED: =	5,354 SF (41.5%)
PARCEL B	
EXISTING BUILDING ROOF AREA =	2,407 SF
IMPERVIOUS PATIO, WALKWAYS, ROCKERIES =	687 SF
DRIVEWAY =	452 SF
TOTAL =	3,546 SF
*HARDSCAPE =	1,139 SF
ALLOWED: =	3,604 SF (35%)
PROPOSED: =	3,546 SF (34.5%)

LOT SLOPE

PARCEL A	
HI ELEV:	228' LOW ELEV: 253' DIST: 175'
SLOPE=	14.3%
PARCEL B	
HI ELEV:	220' LOW ELEV: 243' DIST: 148'
SLOPE=	15.5%

Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net



MERCER ISLAND SUB20-003
NW 1/4 OF SE 1/4, SEC. 25, T. 24 N., R. 04 E., W.M.
MAGUIRE LLR
PARCEL NO. 5454000060 & 5453600240
7643 SE 72nd Pl & 7333 Mercer Terrace Dr

JOB NO.:	192129
DATE:	1/5/21
DRAFTED BY:	TLR
CHECKED BY:	SRM
SCALE:	1" = 20'
3 OF 3	

SITE INFORMATION

SITE ADDRESS 7643 SE 72nd Place, Mercer Island, Washington 98040
TAX PARCEL NUMBER 545400-0060
SITE AREA 12,871 SF or 0.30 acres

PROJECT DESCRIPTION

The work scope for this residential project is a backyard grading, terracing, drainage and landscaping. The work is in a Potential Landslide Hazard Area and Erosion Hazard Area. The access for the project is from the south through the neighbor's side yard accessing the cul-de-sac on 7333 Mercer Terrace Drive. A Critical Area Report was prepared by Sewell Wetland Consulting of November 2, 2021 which identifies the water course as erroneous and no existent. A Geotechnical Study of October 21, 2021 has been prepared by Geotech Consultants. The proposed work will follow the Geotechnical Study specification including designated reviews by the engineer throughout the project. Project work includes excavation and construction of two gravity landscape block walls, drainage, paving and landscaping. Drainage design has been completed by Hankins Engineering. The north retaining wall will be a 5' tall cut wall stepping down to 12" height at the ends. The southern retaining wall is both a 48" height cut wall to the east stepping down to 12" height at the ends, and a 48" height fill wall matching grade at the ends to the west. The walls meet at grade in the middle of the terrace. The west fill wall will have additional 18" of depth to reach stable glacial till soil per the Geotech Study. All walls will have drainage per the civil engineer and the fill wall will be installed with structural backfill and geotechnical fabric for stability. A 10' wide Sewer Easement runs east and west through the site. No landscape walls are in the 10' Sewer Easement. There is an additional triangular sewer easement in the southeast corner of the lot. Landscape work includes replacement and reduction in size of a sand set paver patio and sand set block steps off the existing deck. Work includes rebuilding a 12" height rock wall with on-site rocks 4' from and along the north east property line for the existing zip line. Landscape work also includes building an 18" height block wall as replacement for existing rock wall west and south of the existing deck. Work includes surface drainage, irrigation, low voltage lighting soil preparation, planting and sod lawn. The site will also be fenced with a 6' height black aluminum powder coated fence. The fence sections through the easement will be set in sleeves and will be removable for utility work.

OWNER

Mr. Robert Maguire
 Mrs. Gina Maguire
 7643 SE 72nd Place
 Mercer Island, Washington 98040
 (206) 850-6982
 Email: gina.maguire@ac.com
 rmaguire@dbi.com

GEOTECHNICAL ENGINEER

Geotech Consultants, Inc
 2401 SW Avenue East
 Seattle, Washington 98102
 (425) 747-5618
 Contact: Mr. Rob Ward
 Email: robw@geotechnw.com

WETLAND CONSULTANT

Sewell Wetland Consulting
 1705 Newport Way NW
 Issaquah, Washington 98024
 (425) 859-0513
 Mr. Ed Sewell
 Email: esewell@sewell.com

SITE AREA

12,871 sf or 0.30 acres
 Original Parcel A = 10,756 sf (0.25 acres)
 New Parcel A = 12,871 sf (0.30 acres)

SITE ZONING

R-9.6 (9,600 sf min. lot size)

BUILDING SET BACKS

Front Yard Setback 20'-0"
 Side Yard Setback 15'-0"
 Rear Yard Setback 25'-0"

LANDSCAPE ARCHITECT

Lauchlin R. Bethune Associates, Inc.
 P.O. Box 1442
 Mercer Island, Washington 98038
 (425) 432-9877
 Contact: Mr. Lauchlin Bethune
 Email: lauch@bethunessociates.com

CIVIL ENGINEER

Hankins Engineering
 1689 SW Garis Avenue
 Chelalis, Washington 98532
 (360) 324-3061
 Contact: Mr. Robert Hankins
 Email: hankinsengineering@gmail.com

LANDSCAPE CONTRACTOR

Legacy Landscaping
 1705 Newport Way NW
 Issaquah, Washington 98027
 (425) 826-6333
 Mr. Chris Holecek
 Email: legacylandscaping@comcast.net
 Contractor's License LEGACL1 1933MQ
 Bond 859413C General Contractors License

LOT SLOPE (from survey)

Highest elevation point 253
 Lowest elevation point 228
 Elevation difference 25'
 Horizontal difference 175'
 Lot slope 14.2%

Allowable Lot Coverage 40%
 Required Landscape Area 60%

PROPOSED LOT COVERAGE

Buildings Roof Area 3,301 sf
 Driveway 882 sf
 Total Proposed Lot Coverage 4,183 sf or 32%
 Allowed Lot Coverage 5,148 sf or 40%
 Required Landscape Area 7,723 sf or 60%
 Total Proposed Landscape Area 8,688 sf or 67%

HARDSCAPE CALCULATIONS

Current Hardscape
 Deck 349 sf
 Patio 469 sf
 Entry walk 198 sf
 Wood stairs 82 sf
 Rockeries 150 sf
Total current hardscape 1,248 sf

Hardscape to be removed
 Patio and wood stairs
Total hardscape to be removed 551 sf

Proposed Hardscape
 Patio 250 sf
 Retaining walls 170 sf
Total new hardscape 420 sf

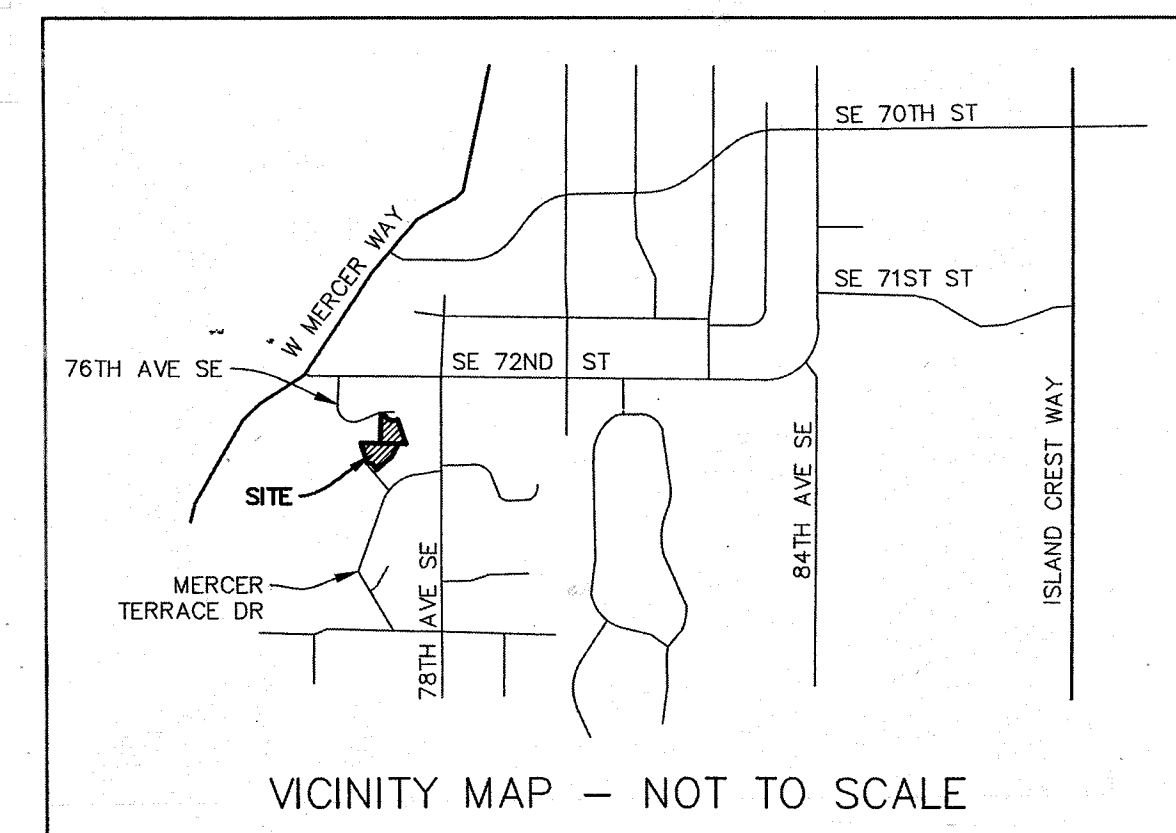
Project Hardscape
 Existing 1,248 sf - removed 551 sf + new 420 sf = **1,117 sf or 8.6%**
 Allowed Hardscape Site 12,871 sf x 9% = **1,158 sf or 9%**

CUT AND FILL CALCULATIONS

Cut (material to be exported) 75 cu yds.
 Fill (structural imported material) 60 cu yds.

SHEET SCHEDULE

- 1 - 4 Lot Line Revisions Plans by Terrane of 7/1/21
- 1.0 Site Plan
- 1.2.0 Erosion Control, Grading and Construction Plan
- 1.3.0 Landscape Planting Plan
- 1.0 Drainage Plan

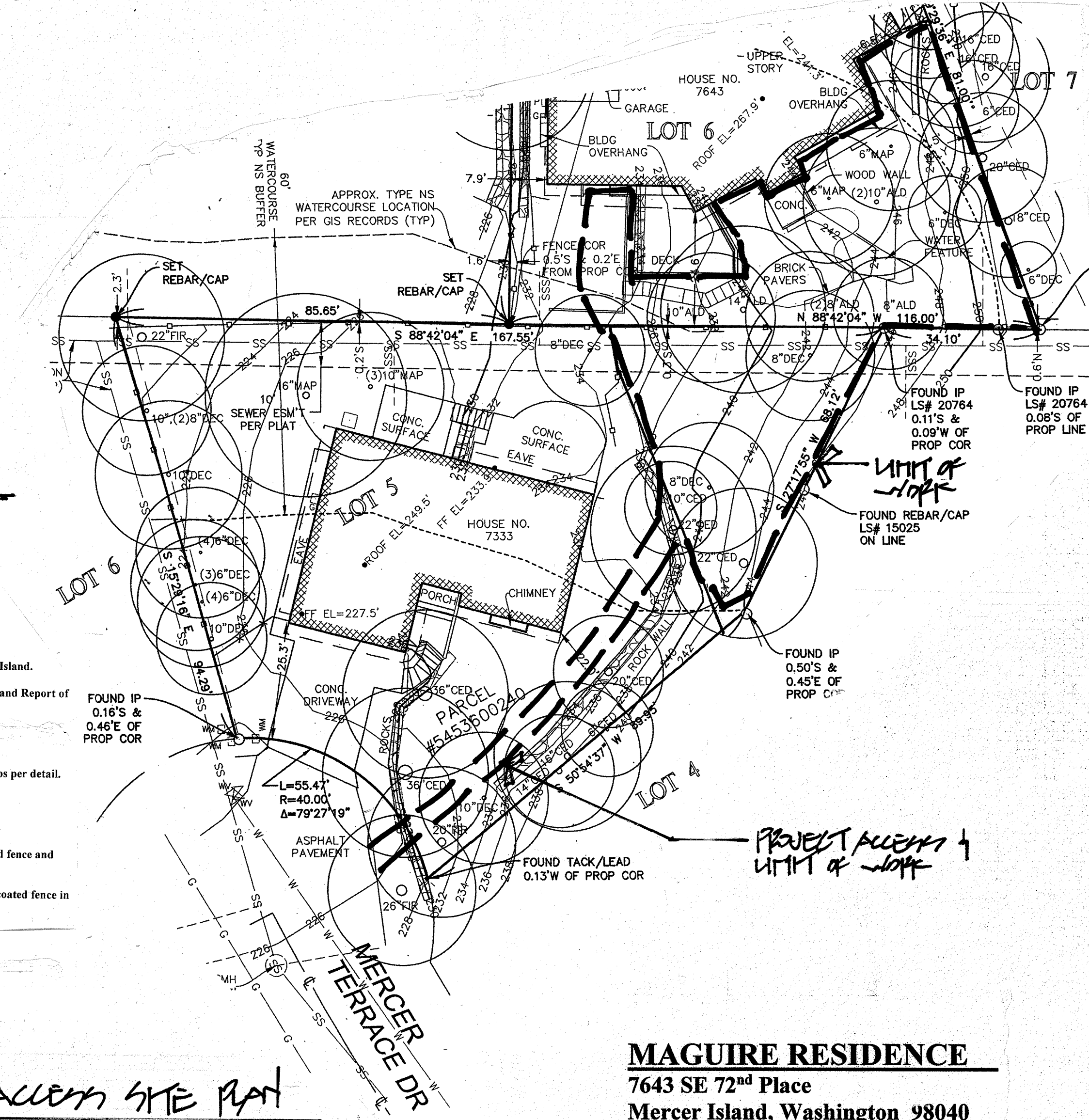
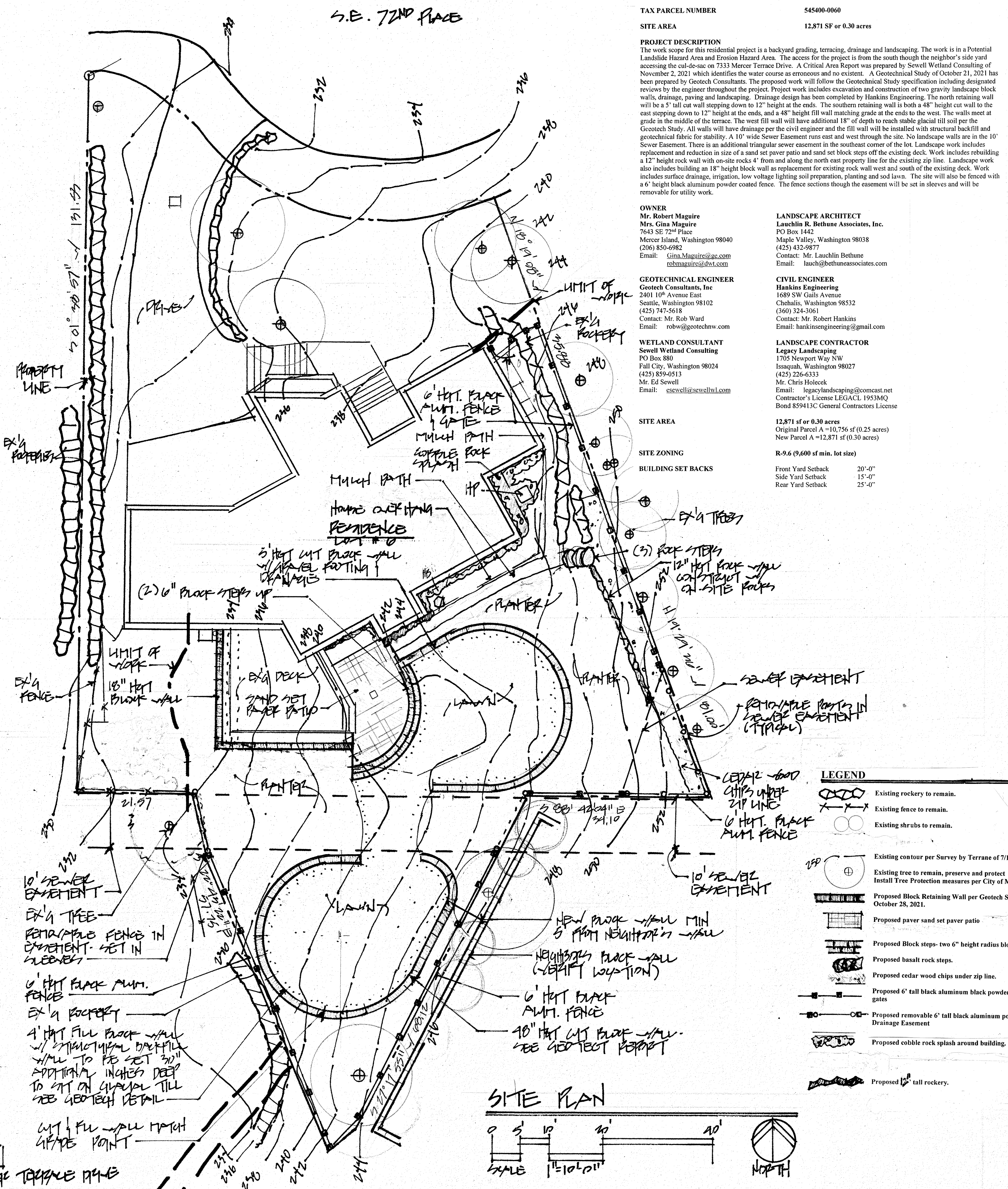


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(ALSO BEING KNOWN AS PARCEL A OF CITY OF MERCER ISLAND LOT LINE ADJUSTMENT NO. MIBS-0556, ACCORDING TO THE SURVEY RECORDED UNDER RECORD NO. 9507259002, RECORDS OF KING COUNTY).

TAX PARCEL NO. 545360-0240
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MAGUIRE RESIDENCE

7643 SE 72nd Place
 Mercer Island, Washington 98040

DATE: REVISIONS:
 JOB# 216183 SHEET # 1.0
 SCALE: 1"=10'-0" COPYRIGHT 188A 2021

Lauchlin R. Bethune Associates, Inc.
 Landscape Architecture & Planning, ASLA
 P.O. Box 1442 phone: (425) 432-9877
 Maple Valley, Washington 98038-1442 www.bethunessociates.com

N.E. 72ND PLACE

GEOTECH REPORT REF - ALL NOTES

MODULAR BLOCK WALLS

Modular block walls will be used to create the new landscape terrace south of the existing residences. A combination of cut and fill walls are needed to flatten out the proposed yard areas in the currently moderately sloped areas. The base of all these walls should be on the glacial till that was

Currently, the western side of the southern landscape area will require that a fill wall with an exposed fill height of up to 4 feet be constructed to meet the proposed finish grades. As detailed in the General section of this report, this wall will bear close to the adjacent western neighbor's rocky. The base of this wall must bear directly upon the dense, native glacial till and its base should be at least 30 inches below the existing ground; this is to reduce the potential for placing a surcharge load atop the neighbor's rocky. Geogrid reinforcement will be needed to construct this fill wall. For preliminary design, we have included a detail for the southwestern fill wall. This can be found attached to this report as Plate 5.

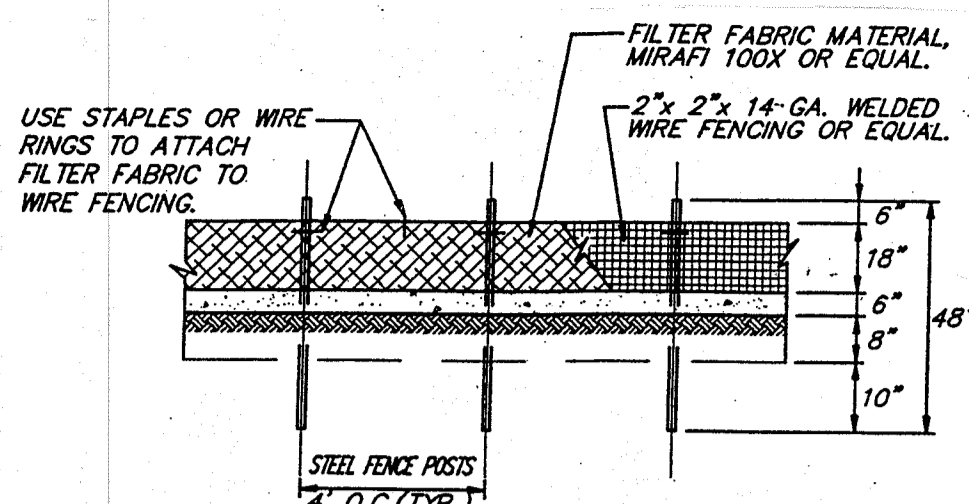
The northern landscape area, as well as the eastern side of the southern landscape area, show the construction of cut walls with exposed heights ranging from 4 to 5 feet. Assuming that the walls have a level backslope, and no surcharges exist, the cut walls could be constructed as gravity walls using the modular blocks, although they need to bear directly on the native glacial till. Where these cut walls will be under 3 feet in total height, as measured from outside ground to outside ground, modular blocks should have a minimum depth of 12 inches. Where total wall heights will exceed 3 feet in height, blocks with a minimum depth of 20 inches should be used below the 3-foot level. For the reinforced wall attached as Plate 5 can be used for the base layer preparation, drainage, and backfill of the cut walls. Also, as presented in the General section of this report, the excavation sequencing and recommendations in the area of the southern portion of the project area that is near the neighbor's block wall to the east should be closely followed during construction to prevent adverse impacts.

GENERAL CONSTRUCTION NOTES

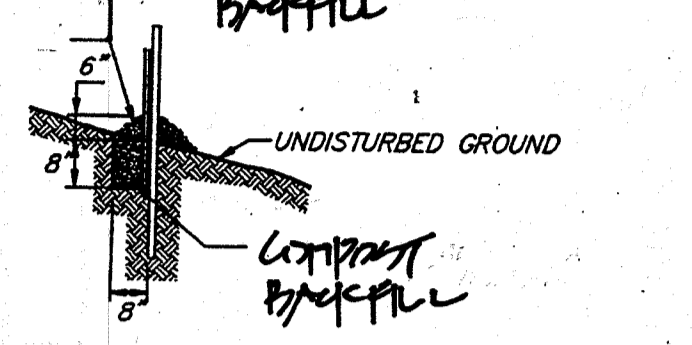
1. The work outlined on the plans are based on the Geotechnical Engineering Study of October 28, 2021 by Geotech Consultants, Inc. All methods and recommendation in the Geotechnical Study will be strictly followed including erosion control recommendation, staging requirements, exported cut material, imported fill material, drainage, paver and block wall construction. Geotech Consultants will be retained to observe the site preparation, erosion control measure, excavation, drainage and construction of block walls.

The conditions of the Geotechnical Report include not limited to the report:
Construction during the dryer period of the summer to reduce erosion and impact to slope.
Cover all exposed soil with plastic.
Temporary Erosion control holding tank.
Installation of silt fence bedded in compost along lower portion of work.
Retain all existing vegetation possible.
Construct access road and base of excavation with clean rock or gravel.
Cut slopes and soil stockpiles to be covered with plastic.
No silty water to run offsite.
Soil stock piles should be limited.
Following rough grading mulch or hydroseed exposed grades.
No cut material to be used for fill, export all cut material.
All walls to sit on glacial till soils per Geotech Study.
Structural fill required for fill walls and to include geotext fabric per Geotech Engineers Detail.
Rock staging and access roads. Trucks and equipment not allowed to drive off the rock covered area.

2. Provide minimum 4" depth 60-40 mix from Corliss Materials 253 891-6680 in all lawn beds. Scarify subgrade by rototilling and add topsoil on surface, mix topsoil and subgrade thoroughly. Add additional topsoil as needed to contour and level lawns.
3. Provide minimum 2" depth fine blend hem-fir mulch to all planting beds. Mulch from Carpetmoss, Kent, Washington. Fill all planting beds and lawn areas to within 1" of top of all curbs and walks. Slope all planting beds and lawn areas to drain.
4. Provide one (1) year warranty for all plant materials and workmanship.
5. Locate, protect and avoid disruption of all above and below grade utilities and site features prior to construction. Contractor is responsible for any resulting damages during construction. Call locate before you dig at 1 800 424-5555.
6. All work performed shall conform to the City of Mercer Island requirements, codes and specifications.

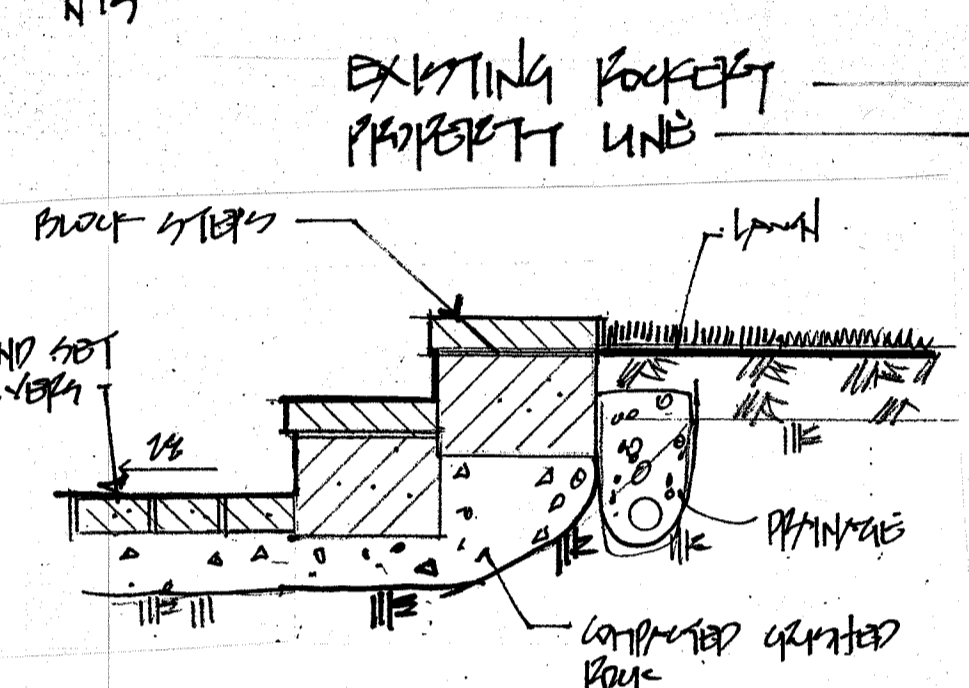


ELEVATION



SECTION

SILT FENCE DETAIL



SECTION A - BLOCK STEPS

SECTION B - BLOCK STEPS

SECTION C - BLOCK STEPS

SECTION D - BLOCK STEPS

SECTION E - BLOCK STEPS

SECTION F - BLOCK STEPS

SECTION G - BLOCK STEPS

SECTION H - BLOCK STEPS

SECTION I - BLOCK STEPS

SECTION J - BLOCK STEPS

SECTION K - BLOCK STEPS

SECTION L - BLOCK STEPS

SECTION M - BLOCK STEPS

SECTION N - BLOCK STEPS

SECTION O - BLOCK STEPS

SECTION P - BLOCK STEPS

SECTION Q - BLOCK STEPS

SECTION R - BLOCK STEPS

SECTION S - BLOCK STEPS

SECTION T - BLOCK STEPS

SECTION U - BLOCK STEPS

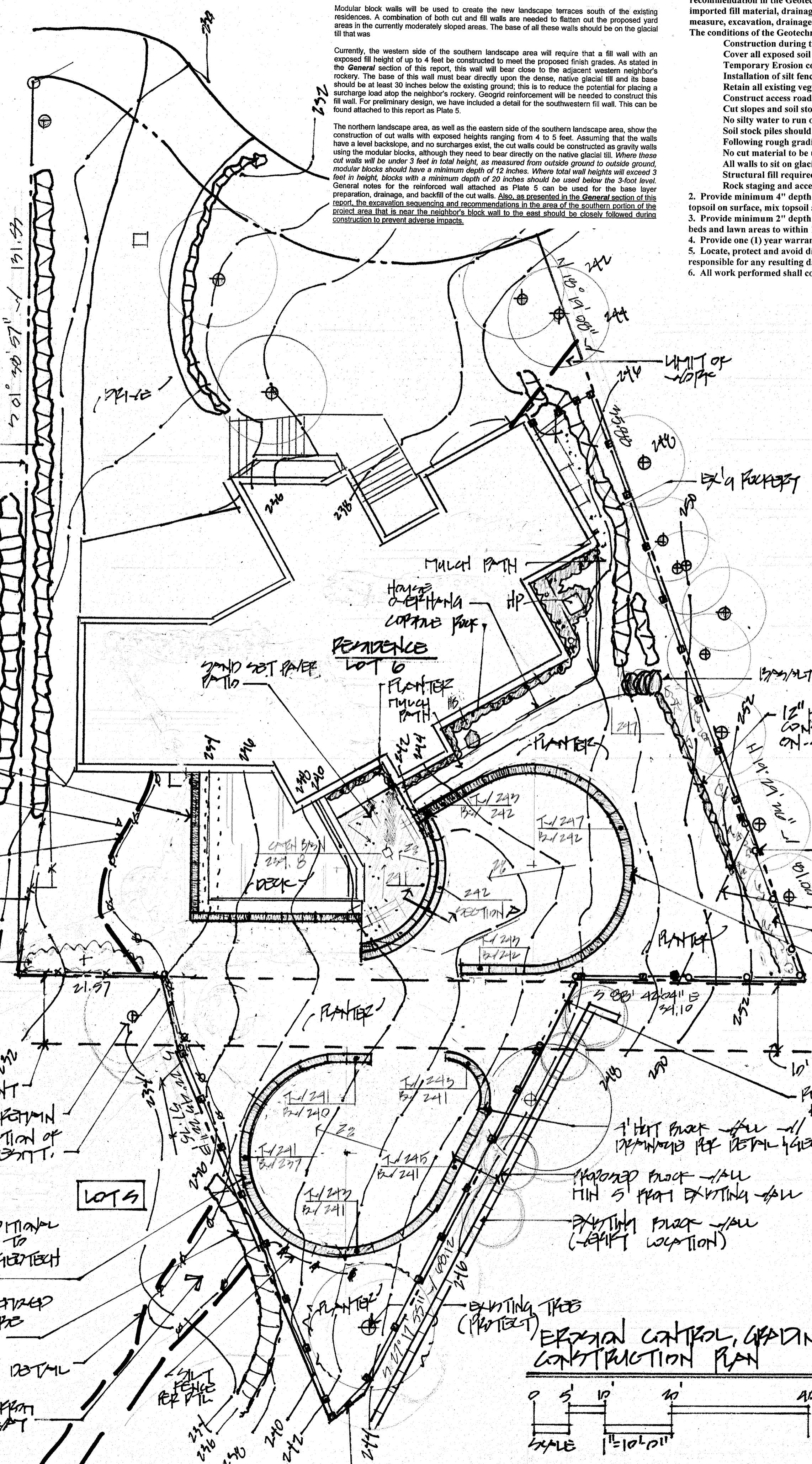
SECTION V - BLOCK STEPS

SECTION W - BLOCK STEPS

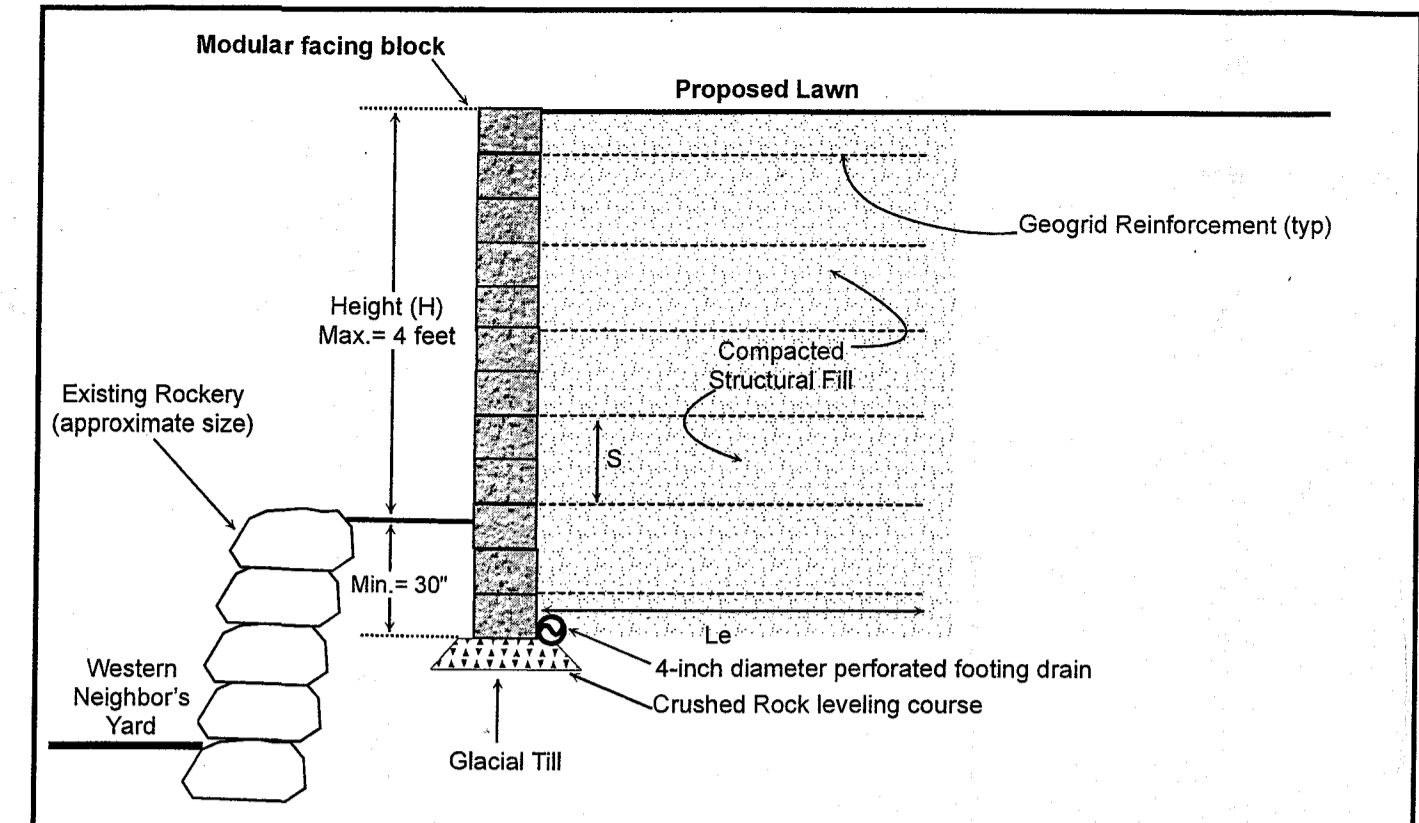
SECTION X - BLOCK STEPS

SECTION Y - BLOCK STEPS

SECTION Z - BLOCK STEPS



- #### LEGEND
- Silt fence per detail and Geotech Report of October 28, 2021.
 - Existing contour per Survey by Terrane of 7/1/20.
 - Existing tree to remain, preserve and protect. Install Tree Protection measures per City of Mercer Island.
 - Proposed Block Retaining Wall per Geotech Section and Report of October 28, 2021.
 - Proposed paver sand set paver patio.
 - Proposed Block steps - two 6" height radius block steps per detail.
 - Proposed basalt rock steps.
 - Proposed cedar wood chips under zip line.
 - Proposed 6" tall aluminum black powder coated fence and gates.
 - Proposed removable 6" tall black aluminum powder coated fence in Drainage Easement. Set in concrete sleeves for removal for access to utilities.
 - Proposed cobble rock splash around building.
 - Proposed 12" tall rockery.
 - Existing rockery to remain.
 - Existing fence to remain.
 - Existing shrubs to remain.
- Spot elevation - TW - Top of wall elevation
BW - Bottom of wall elevation



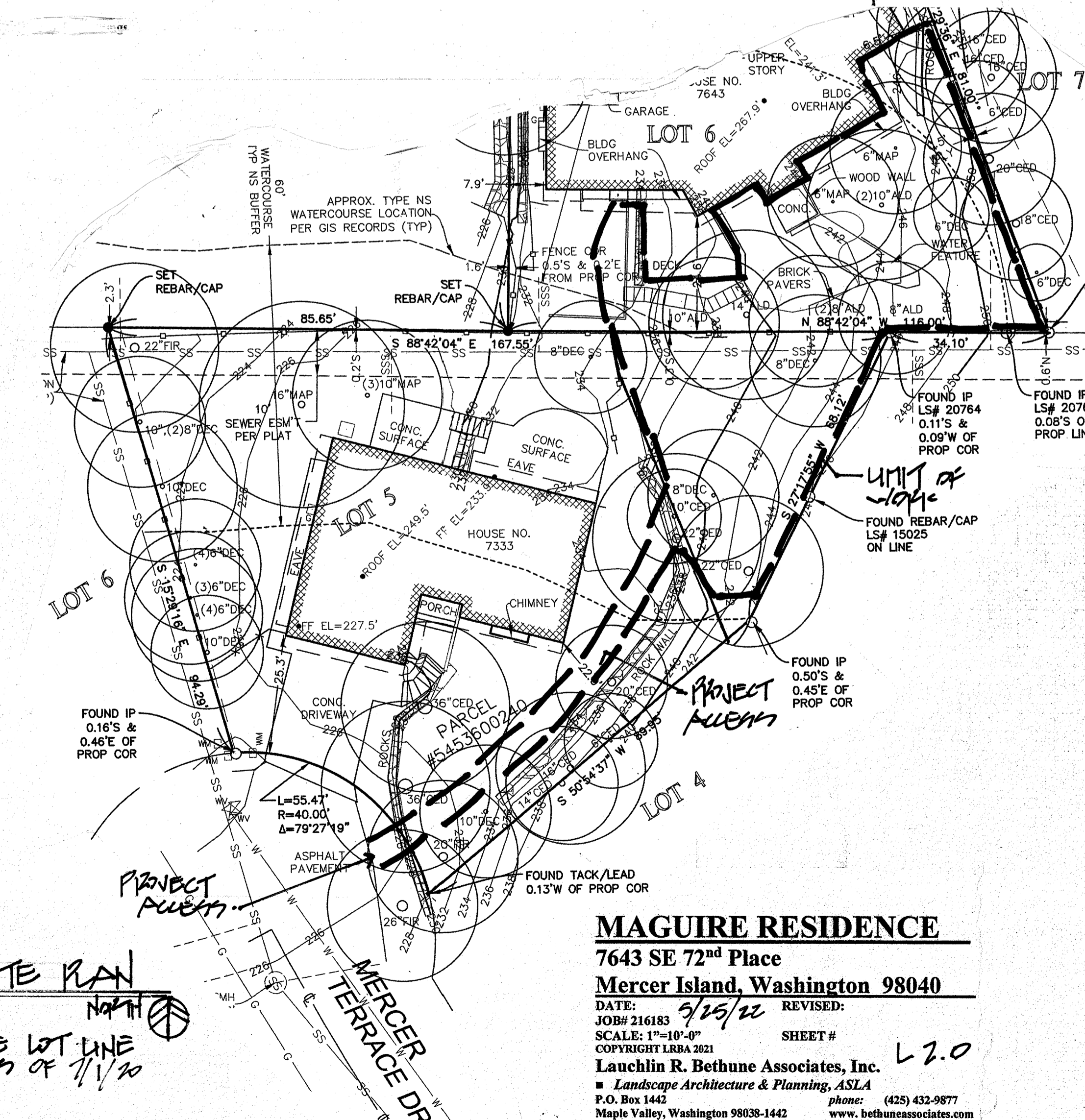
- #### Notes:
1. The modular block wall should be constructed by an experienced contractor. Construction of the geogrid-reinforced fill and the modular block facing should be monitored by the geotechnical engineer.
 2. The modular block wall must be constructed in accordance with the manufacturer's specifications. This includes their details for corners.
 3. Modular blocks must have a minimum facing depth of 12 inches. Wall batter may be near vertical.
 4. Geogrid Reinforcement should be Stratagrid 350, or a geogrid having similar strength and deformation properties. Substitutions should be submitted to the geotechnical engineer for approval prior to starting construction. Geogrids must be pulled taut prior to placement of fill.
 5. The lowest layer of Geogrid Reinforcement should be at the same level as the final grade at the face of each modular block wall. The upper layer of Geogrid Reinforcement should be within 24 inches of the top of the modular block wall.
 6. Geogrid spacing (S) is 18 inches. The geogrid reinforcement, L_e should be 6 feet in length for the above shown wall height.
 7. Compacted Fill, and Structural Fill placed below the modular block wall and geogrids, should be an imported, free-draining granular fill. Samples of the proposed fill materials should be submitted to the geotechnical engineer for approval prior to starting construction. All fill should be placed with a maximum loose lift thickness of 12 inches and be compacted to at least 95 percent of the maximum Modified Proctor dry density (ASTM D-1557).
 8. Surface water must be prevented from infiltrating into the Compacted Fill behind the wall blocks. The ground surface behind each modular block wall should be sloped so that no standing water can develop, as excessive water in the backfill can cause failure of the reinforced fill. During wet weather, the Compacted Fill behind the wall should be covered with plastic until the ground surface is sloped for proper drainage.
 9. A Footing Drain consisting of a 4-inch perforated PVC pipe should be installed in the base of the Crushed Rock layer.
 10. The final slope should be vegetated or landscaped to provide erosion protection.

GEOTECH CONSULTANTS, INC.

MODULAR BLOCK WALL DETAIL
7643 Southeast 72nd Place
Mercer Island, Washington

Job No:	Date:	Plate:
21383	Oct. 2021	5

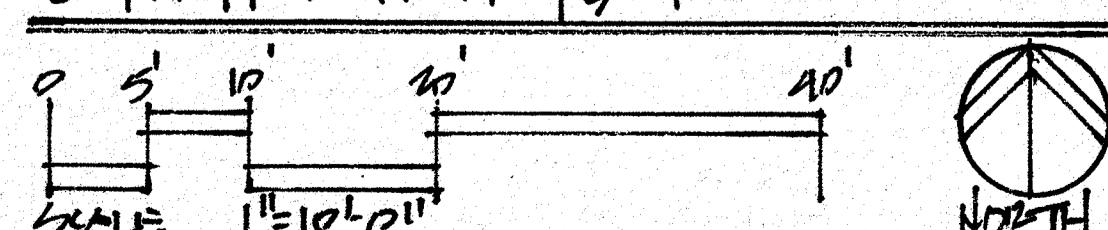
EXISTING FILL BLOCK WALL DETAIL NOTES



MAGUIRE RESIDENCE
7643 SE 72nd Place
Mercer Island, Washington 98040

DATE: 9/25/22 REVISIONS:
JOB# 216183 SHEET # L 2.0
SCALE: 1"=10'-0" SHEET #
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P.O. Box 1442 phone: (425) 432-9877
Maple Valley, Washington 98038-1442 www.bethuneassociates.com

QUESTIONS SITE PLAN
11/20/21
FROM TERRANE LOT LINE
POSITION MAPS OF 7/1/20



Legend:

Proposed Storm Drain
SD

Proposed Spot Elev.
TW 241
BW 237

Proposed Wall Drain
WD

O = Clean Out for WD

TW = Top of Wall
BW = Bottom of Wall

See additional notes on the other sheets by others. This storm plan is for Storm Drainage as it pertains to the new court yard with pavers and the proposed wall drains. Site design layout and Survey is by others.

Call before you dig for any and all utilities that will be within the project area.

It may be possible to substitute the Catch Basins to yard drains, this will need to be verified and approved (by Engineer and the City) prior to contractor ordering material.

Please review the Geotec's Report for recommendations concerning Walls, grading etc... Please look at the Site Plan for additional information.

STORM AND GRADING MATERIAL SPECIFICATIONS

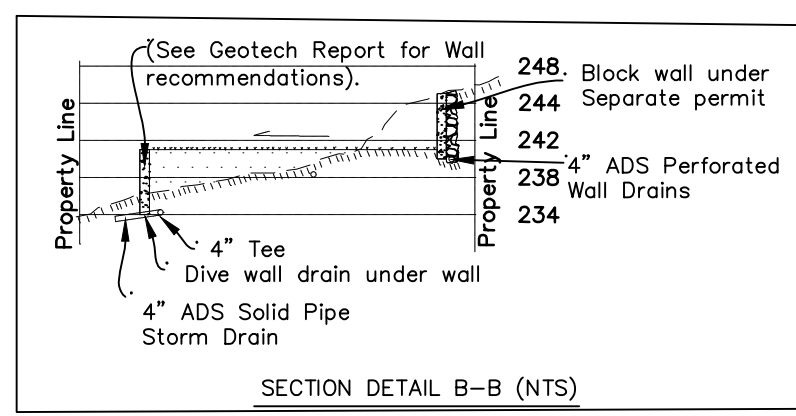
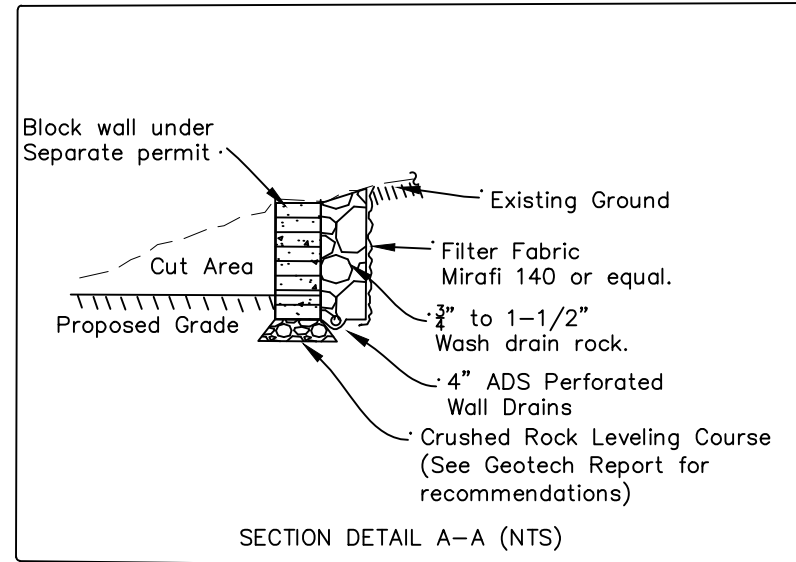
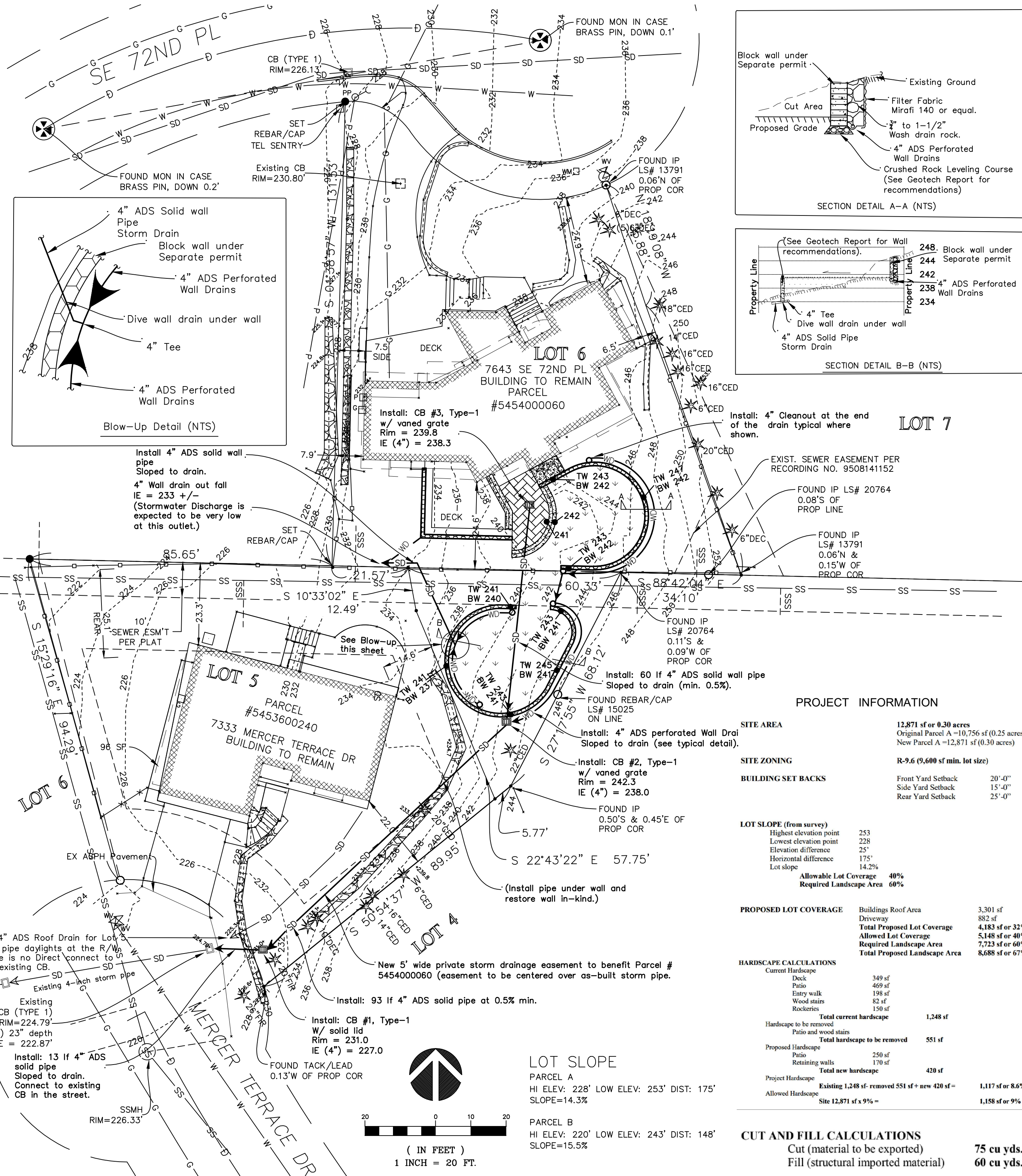
- CATCH BASIN**
TYPE I, W.S.D.O.T. STANDARD PLAN B-5.20-00
TYPE II, W.S.D.O.T. STANDARD PLAN B-5.40-00
TYPE III, W.S.D.O.T. STANDARD PLAN B-10.20-00
STORM DRAIN MANHOLE
TYPE I, W.S.D.O.T. STANDARD PLAN B-15.20-00
- FRAME & GRATE**
VANED GRATE, W.S.D.O.T. STANDARD PLAN B-2b (AS NOTED ON PLANS)
STANDARD FRAME AND GRATE, W.S.D.O.T. STANDARD B-30.50-00
CURB INLET WSDOT STANDARD PLAN B-25.20-00
- SOLID METAL COVER**
3 BOLT LOCKING TYPE, OLYMPIC FOUNDARY TYPE M1 300/71 OR EQUAL, FOR TYPE I CATCH BASINS.
OLYMPIC FOUNDARY TYPE SM 605 OR W.S.D.O.T. STANDARD PLAN B-30.70-00 (OR EQUAL) FOR TYPE I CATCH BASINS.
- STORM SEWER PIPE**
CORRUGATED METAL PIPE $\pi=0.024$ (CMP) PER W.S.D.O.T. 9-05.9
CONCRETE PIPE PER W.S.D.O.T. 9-05.7(1) & 9-05.7(2) $\pi=0.012$
CORRUGATED HIGH DENSITY POLYETHYLENE PIPE (HDPPE), ADS N-12 OR HANCOR H-Q (ASBIO W24 TYPE 3) $\pi=0.012$
- DOWN SPOUT**
TROTHLINE, ADS N-12 (OR EQUAL)
- PIPE BEDDING**
W.S.D.O.T. 9-03.12(3) GRAVEL BACKFILL FOR PIPE BEDDING.
- INITIAL BACKFILL**
NATIVE MATERIAL OBTAINED FROM EXCAVATION PER W.S.D.O.T. 7-08.3(3)
- REMAINING BACKFILL**
NATIVE MATERIAL OBTAINED FROM EXCAVATION PER W.S.D.O.T. 2-09.3(7)

GRADING NOTES

- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN THE EVENT OF DISCOVERY OF POOR SOILS, GROUNDWATER OR DISCREPANCIES IN THE EXISTING CONDITIONS AS NOTED ON THE PLANS.
- MAXIMUM SLOPE STEEPNESS SHALL BE 2:1 HORIZONTAL:VERTICAL FOR CUT AND FILL SLOPES.
- UNLESS OTHERWISE SPECIFIED, ALL EMBANKMENTS IN THE PLAN SET SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 2-03.3(1)(B) OF THE WSDOT STANDARD SPECIFICATIONS. EMBANKMENT COMPACTORS SHALL CONFORM TO SECTION 2-03.3(1)(C), METHOD B OF SAID STANDARD SPECIFICATION.
- EMBANKMENTS DESIGNED TO IMPOUND WATER SHALL BE COMPACTED TO 95% MAXIMUM DENSITY PER SECTION 2-03.3(1)(C), METHOD C OF WSDOT STANDARD SPECIFICATIONS.
- ALL AREAS RECEIVING FILL MATERIAL SHALL BE PREPARED BY REMOVING VEGETATION, NONCOMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIAL, BY SCARPING THE SURFACE TO PROVIDE A BOND WITH THE NEW FILL AND WHERE THE SLOPES ARE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL AND THE HEIGHT IS GREATER THAN 5 FT., BY BENCHING INTO SOUND COMPETENT MATERIAL, AS DETERMINED BY THE ENGINEER.

CALL 48 HOURS BEFORE YOU DIG 811

The approximate location of existing underground utilities are shown on the plans. It is the contractor's responsibility to determine the location of the existing utilities prior to commencing work. The Contractor shall be responsible for damages that might be occasioned by the contractor's failure to locate, preserve and protect underground utilities.



PROJECT INFORMATION

SITE AREA	12,871 sf or 0.30 acres Original Parcel A = 10,756 sf (0.25 acres) New Parcel A = 12,871 sf (0.30 acres)
SITE ZONING	R-9.6 (9,600 sf min. lot size)
BUILDING SET BACKS	Front Yard Setback 20'-0" Side Yard Setback 15'-0" Rear Yard Setback 25'-0"
LOT SLOPE (from survey)	Highest elevation point 233 Lowest elevation point 228 Elevation difference 25' Horizontal difference 175' Lot slope 14.2%
ALLOWABLE LOT COVERAGE	40%
REQUIRED LANDSCAPE AREA	60%
PROPOSED LOT COVERAGE	Buildings Roof Area 3,301 sf Driveway 882 sf Total Proposed Lot Coverage 4,183 sf or 32% Allowed Lot Coverage 5,148 sf or 40% Required Landscape Area 7,723 sf or 60% Total Proposed Landscape Area 8,688 sf or 67%
HARDSCAPE CALCULATIONS	Current Hardscapes Deck 349 sf Patio 469 sf Entry walk 198 sf Wood main 82 sf Rockeries 150 sf Total current hardscapes 1,248 sf Hardscapes to be removed Patio and wood stairs 551 sf Total hardscapes to be removed 551 sf Proposed Hardscapes Patio 250 sf Retaining walls 170 sf Total new hardscapes 420 sf Project Hardscapes Existing 1,248 sf + removed 551 sf + new 420 sf = 1,117 sf or 8.6% Allowed Hardscapes Site 12,871 sf x 9% = 1,158 sf or 9%
CUT AND FILL CALCULATIONS	Cut (material to be exported) 75 cu yds. Fill (structural imported material) 60 cu yds.

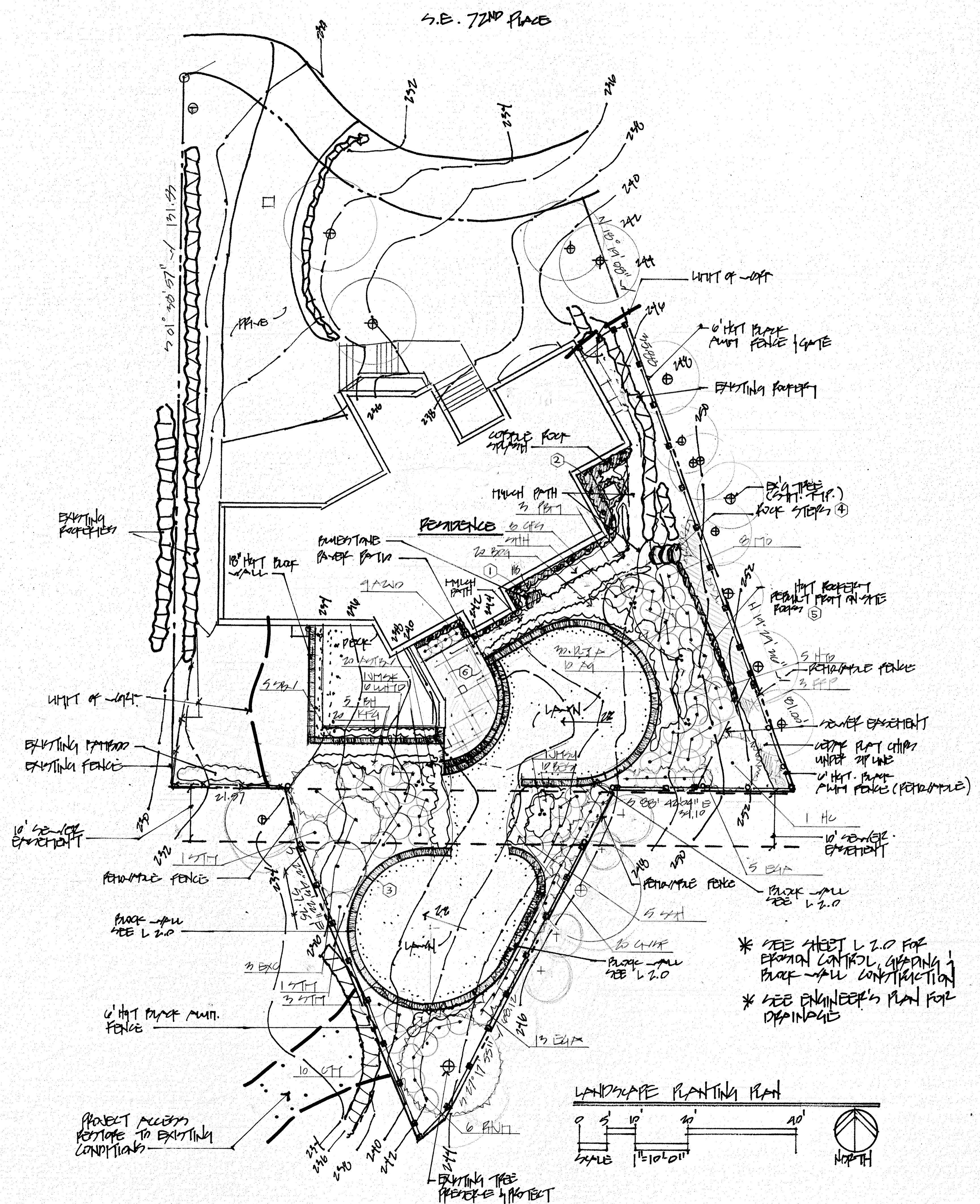
PRELIMINARY STORM DRAINAGE PLAN

HANKINS ENGINEERING
1689 SW GAILS AVE.
CHEHALIS, WA 98532
PH: (360) 324-3061
EMAIL: hankins.engineering@gmail.com

MERCER ISLAND SUB20-003
NW 1/4 OF SE 1/4, SEC. 25, T. 24 N., R. 9 E., W.M.
MAGUIRE LLR
PARCEL NO. 5454000060 & 5453600240
7643 SE 72nd Pl & 7333 Mercer Terrace Dr

STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
ROBERT E. HANKINS
43354

JOB NO.:
DATE: 5/25/2022
DRAFTED BY: reh
CHECKED BY: REH
SCALE: 1" = 20'
1.0 OF 1.0



PLANT MATERIAL LEGEND

Abrev.	Common Name	Botanical Name	Size
trees:			
EGA	Emerald Green Arborvitae	<i>Thuja occidentalis</i> "Emerald Green"	6' hgt./B&B
EXC	Excelsa Cedar	<i>Thuja plicata</i> "excelsa"	6' hgt./B&B
HC	Hinokae Cypress	<i>Chamaecyparis obtusa</i> "Hinokae"	6' hgt./B&B
JMSK	Japanese Maple Sango Kaku	<i>Acer palmatum</i> "Sango Kaku"	8' hgt./B&B, Specimen
JMSU	Japanese Maple Seiryu	<i>Acer palmatum</i> "Seiryu"	6' hgt./B&B, Specimen
PBM	Paperbark Maple	<i>Acer griseum</i>	1.5" cal./B&B
shrubs:			
AZJO	Azalea Johanna	Same	12" x 12"/cont.
FFP	Forest Flame Pieris	<i>Pieris floribunda</i> "Forest Flame"	24" hgt./cont.
GFS	Spiraea Goldflame	<i>Spiraea japonica</i> "Goldflame"	16" hgt./cont.
HYD	Pegee Hydrangea	<i>Hydrangea paniculata</i> "Grandiflora"	24" hgt./cont.
LLHYD	Lime Light Hydrangea	<i>Hydrangea paniculata</i> "Lime Light"	24" hgt./cont.
MO	Mexican Orange	<i>Chosia ternate</i>	24" hgt./cont.
RHJM	Rhodo. "Jean Marie"	Same	21-24"/B&B
SBV	Spring Bouquet Viburnum	<i>Viburnum tinus</i> "Spring Bouquet"	24" hgt./cont.
SSH	Spiraea Shirobana	<i>Spiraea shirobana</i>	12" hgt./cont.
STM	Strawberry Madrone	<i>Arbutus unedo</i>	30" hgt./cont.
grasses:			
BOG	Blue Oat Grass	<i>Helictotrichon sempervirens</i>	1 gal./cont.
GVSF	Golden Variegated Sweet Flag	<i>Acorus gramineus</i> "Ogon"	1 gal./cont.
KFG	Karl Foerster Grass	<i>Calamagrostis x acutiflora</i>	1 gal./cont.
symbols/ground covers:			
AG	Agapanthus	<i>Agapanthus</i> "Queen Anne"	1 gal./cont.
AST-BV	Astilbe - Bridal Veil	<i>Astilbe ardensii</i> "Bridal Veil"	1 gal./cont.
BES	Black Eyed Susan	<i>Rudbeckia fulgida</i>	1 gal./cont.
BH	Bishops Hat	<i>Epimedium grandiflorum</i>	1 gal./cont.
CTY	Candytuft	<i>Iberis sempervirens</i>	1 gal./cont.
DLY A	Day Lilly	<i>Hemerocallis</i> "Anzac"	1 gal./cont.
SHH	Sarcococca - Dwarf	<i>Sarcococca hookeriana</i> "Humilis"	1 gal./cont.

Lawn Sod from Country Green 1 800 300 1763

SITE SPECIFIC NOTES

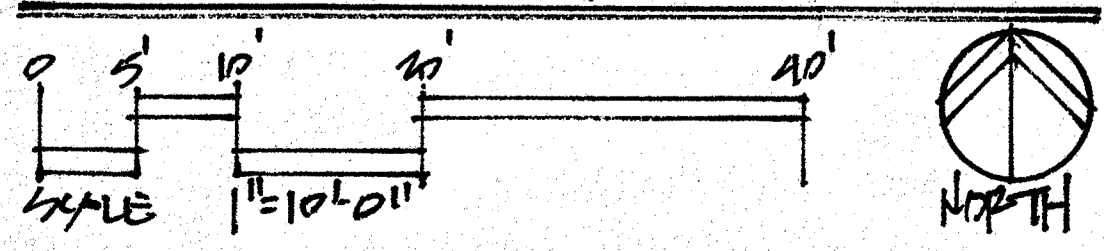
1. BLUE STONE PAVER. Blue Stone Paver from Marenakos Rock Center; Issaquah, WA (425) 392-3313. Blue Stone to be 1 1/2" thick set over 2" depth compacted rock and 1" depth washed sand.
2. ROCK SPLASH. Cobble rock 4-6" washed 10" deep and 12" wide, wider by heat pump.
3. MODULAR BLOCK WALL. Per Geotech report of 10-28-21.
4. ROCK STEPS. Set basalt steps with flat tops and consistent riser secure steps form rocking with soil and gravel.
5. ROCK WALL ADJACENT ZIPLINE. Constructed with on-site rocks. 12" hgt.
6. SANDSET INTERLOCKING PAVERS. Sandset interlocking pavers contained with aluminum edging.

GENERAL CONSTRUCTION NOTES

1. All work performed shall conform to the City of Mercer Island landscape and irrigation requirements, codes and specifications.
2. Owner to secure all necessary permits for required work per Landscape and Irrigation Plan.
3. Clean subgrade by removing all undesirable vegetation including grasses and weeds including roots. Leave subgrade in landscape areas minimum 8" below paving for shrub beds and 6" depth for lawn. Remove all debris from site.
4. Provide minimum 8" depth 60-40 mix from Corliss Materials (253) 891-6680 in all shrub beds. Scarify subgrade by rototilling and add topsoil on surface, mix topsoil and subgrade thoroughly. Add additional topsoil as needed to contour shrub beds including required berms.
5. Provide minimum 4" depth 60-40 mix from Corliss Materials (253) 891-6680 in all lawn areas. Scarify subgrade by rototilling and add topsoil on surface. Add additional topsoil as needed to level and slope to drain at 2%. shrub beds including required berms.
6. Provide minimum 2" depth fine blend hem-fir mulch to all planting beds. Mulch from Sawdust Supply, Seattle. Fill all planting beds and lawn areas to within 1" of top of all curbs and walks. Slope all planting beds and lawn areas to drain.
7. Provide one (1) year warranty for all plant materials and workmanship.
8. Locate, protect and avoid disruption of all above and below grade utilities and site features prior to construction. Contractor is responsible for any resulting damages during construction. Call locate before you dig at 811.
9. Verify all quantities shown on the plant list and plans. If discrepancies exist between the graphic representation and the numeric totals, the graphic representation shall rule.
10. All plant materials to be specimen quality with full, symmetrical trunk and foliage, unless otherwise noted.
11. Insure proper drainage of all planting holes prior to installing plant materials. If planting holes do not drain or if heavy clay soils are evident contact landscape architect.
12. Coordinate drainage, irrigation and lighting with planting plan.

* SEE SHEET L 2.0 FOR EROSION CONTROL, GRADING & BLOCK WALL CONSTRUCTION
 * SEE ENGINEER'S PLAN FOR DRAINAGE

LANDSCAPE PLANTING PLAN



MAGUIRE RESIDENCE

7643 SE 72nd Place
 Mercer Island, Washington 98040
 DATE: 5/25/22 REVISION:
 JOB# 216183 SHEET # L-3.0
 SCALE: 1"=10'-0"
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